

**GENERAL NOTES:**

Main contractor to confirm all dimensions on site as setting out - report any issues immediately to Vertical Limit for direction.

All framing work to be carried out in accordance with NZS3604:2011 unless modified and detailed by Specific Engineering Design. All foundation work where applicable shall be carried out in accordance with SED by BH Williams Consulting Engineers # both to NZBC # Building Act 2004.

All foundation excavations and structural steel shall be inspected by Geotech Engineers prior to being concealed and acceptance of compliance issued prior to slab pour to Hastings District Council.

**FRAMING NOTES:**

Frame Manufacturer to allow for 6mm slab overhang to all external wall framing - dimensions shown are to the slab edge. All framing shall be treated as noted throughout drawings and as scheduled in Carpentry section of main specifications.

**Bottom plate anchors to be as follows:**

M12x120 Galvanized Trubolts with 50x3.0 washers at 900ctr max (80mm set in for 140mm framing, 60mm set in for 90mm framing), not more than 150mm from corners - where hold down systems part of bracing elements check relevant manufacturers data included in spec addenda for additional requirements before placing.

**Btm plates:**

Top plates: 2-90/140x45 SG8 H3.2CCA KD GGD  
 Studs (LB): (2.4-2.7h) 90x45 SG8 H1.2 400ctr (2.7-3.6h) 140x45 SG8 H1.2 600ctr (3.6-4.2h) 140x90 SG8 H1.2 400ctr  
 Studs (NLB): (2.4-2.7h) 90x45 SG8 H1.2 400ctr (2.7-3.6h) 140x45 SG8 H1.2 600ctr (3.6-3.9h) 140x45 SG8 H1.2 400ctr  
 Nogs: 800 ctrs max generally, 600ctr to cedarscreen area  
 Shwr enclosure framing H3.2CCA KD GGD - all studs 400ctr

All framing shall be 5G8 grade unless noted otherwise.

**TIMBER JOINERY**

New entry door unit height shown is to FFL - allow to check heights on site to suit flooring selections - joinery fabricator to liaise with main building contractor and complete site measure prior to fabrication.

**ALUMINIUM JOINERY**

All aluminium joinery shall be powder coated with Dulux Duralloy finish in selected colour and shall be double glazed as per schedule under glazing in full spec, any proposed changes to the glazing must be checked with Vertical Limit prior. Glazing tint colour is to be confirmed against final colour schedule on site prior to ordering of glass. Joinery fabricator is to allow to complete site measure of all openings.

**FASTENERS**

All nailing to structural framing where enclosed shall be hot dip galvanized - the use of bright nails for any structural work is not permitted (includes all H3.2CCA wall framing). Exterior trim nailing where punched and filled shall be hot dip galvanized except where in contact with any Cedar, 31G55 shall be used. All concealed bolts shall be hot dip galv - G4.6 timber-timber, G8.8 timber to steel / steel-steel unless detailed otherwise.

**STRUCTURAL STEEL**

All structural steel being concealed shall be factory primed with Resene Steel Fab primer before delivery to site, where any damage to primer occurs during install allow to patch prime before concealing. Steel to have bolted joints unless detailed otherwise.

**INSULATION NOTES:**

Insulation designed as in accordance with NZS 421.8 # NZS421.4. No changes to any specified building envelope materials without approval from Vertical Limit and NCC in writing prior. A minimum of 25mm air space clearance must be maintained between underside of roofing underlay and insulation where ceilings are pitched and at outer edges of trusses.

**SMOKE DETECTORS**

Install new smoke detectors to NZBC F7 - locate within 3.0m of all bedroom door ways and on escape routes as shown on Fit out Floor Plan.

**DESIGN NOTES:**

WIND REGION: A  
 WIND ZONE: HIGH - 44m/s  
 EARTHQUAKE ZONE: 3  
 CORROSION ZONE: B - low risk  
 ZONING:A: General Residential

GROUND FLOOR LEVEL: 175.99m<sup>2</sup>  
 GF VERANDAS: 20.51m<sup>2</sup>  
 FIRST FLOOR LEVEL: 78.42m<sup>2</sup>  
 TOTAL PROPOSED AREA: 276.09m<sup>2</sup>

SITE COVERAGE: 196.50 / 407.06 = 48.27%  
 (RMA required for exceeding 45%)

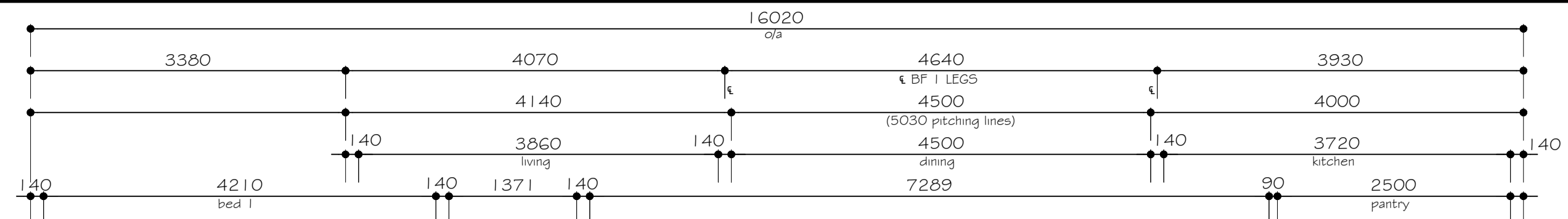
BOUNDARIES SUBJECT TO FINAL SURVEY PLAN AND TITLE FORMATION.

FLOOR HEIGHTS TO BE CONFIRMED WITH SITE EXCAVATION AND DAYLIGHTING CONTROLS ONCE SITE CLEARED

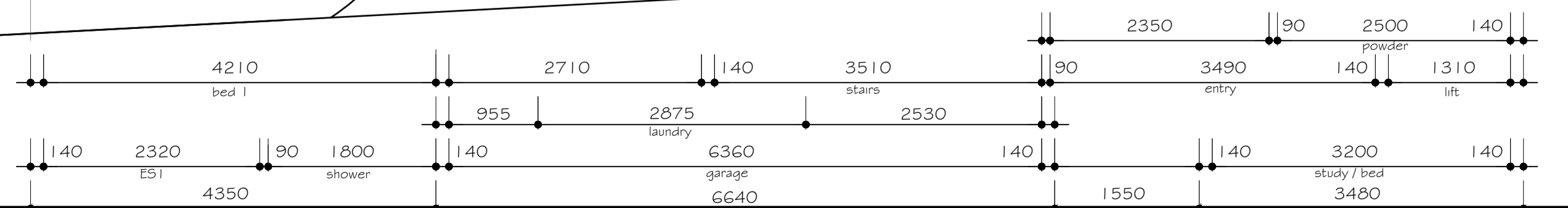
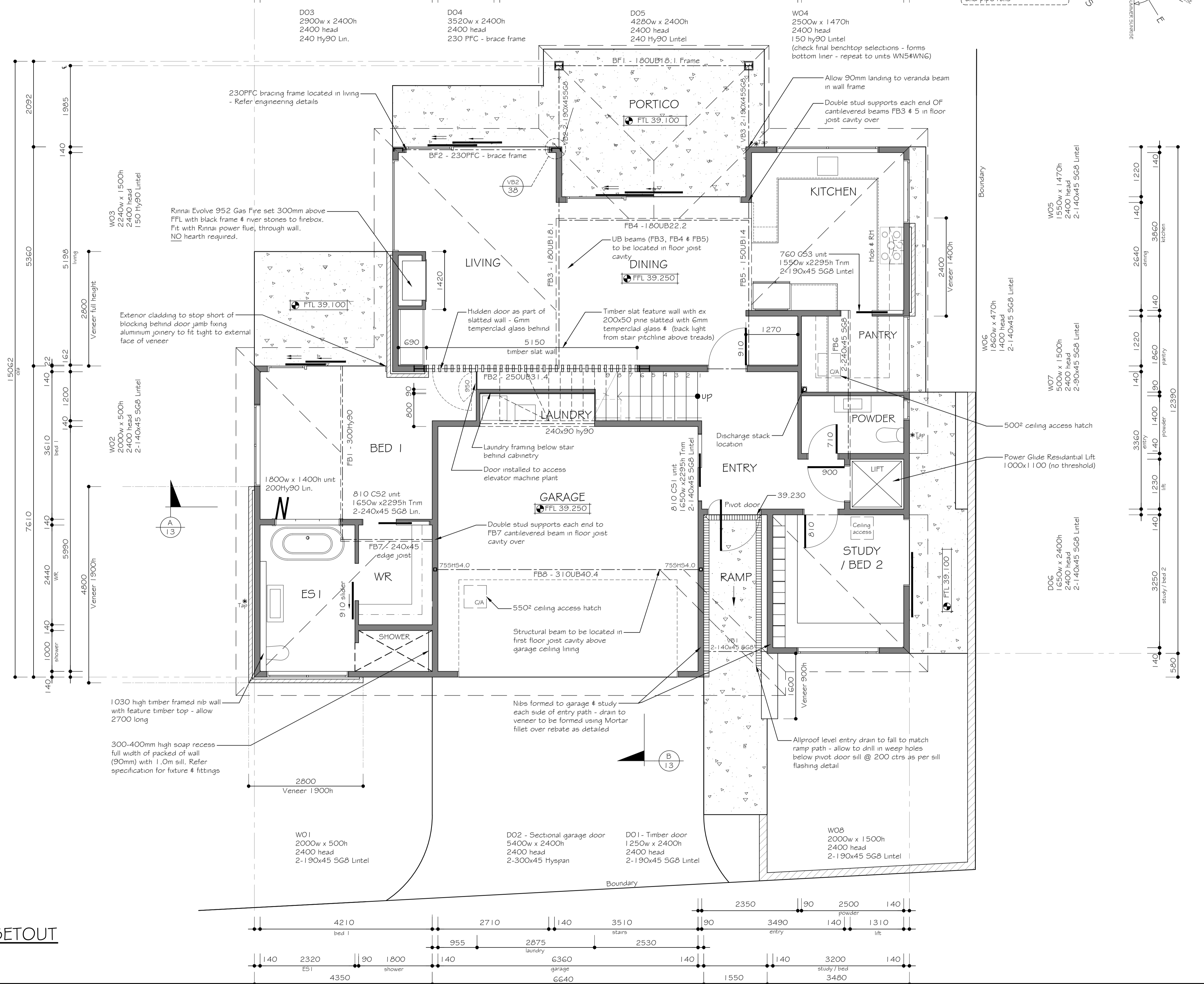
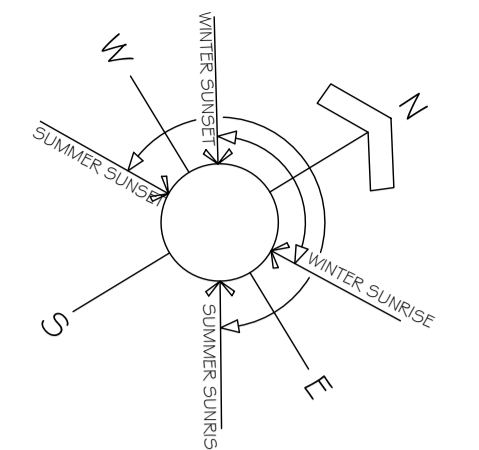


**PROPOSED GROUND FLOOR PLAN - SETOUT**

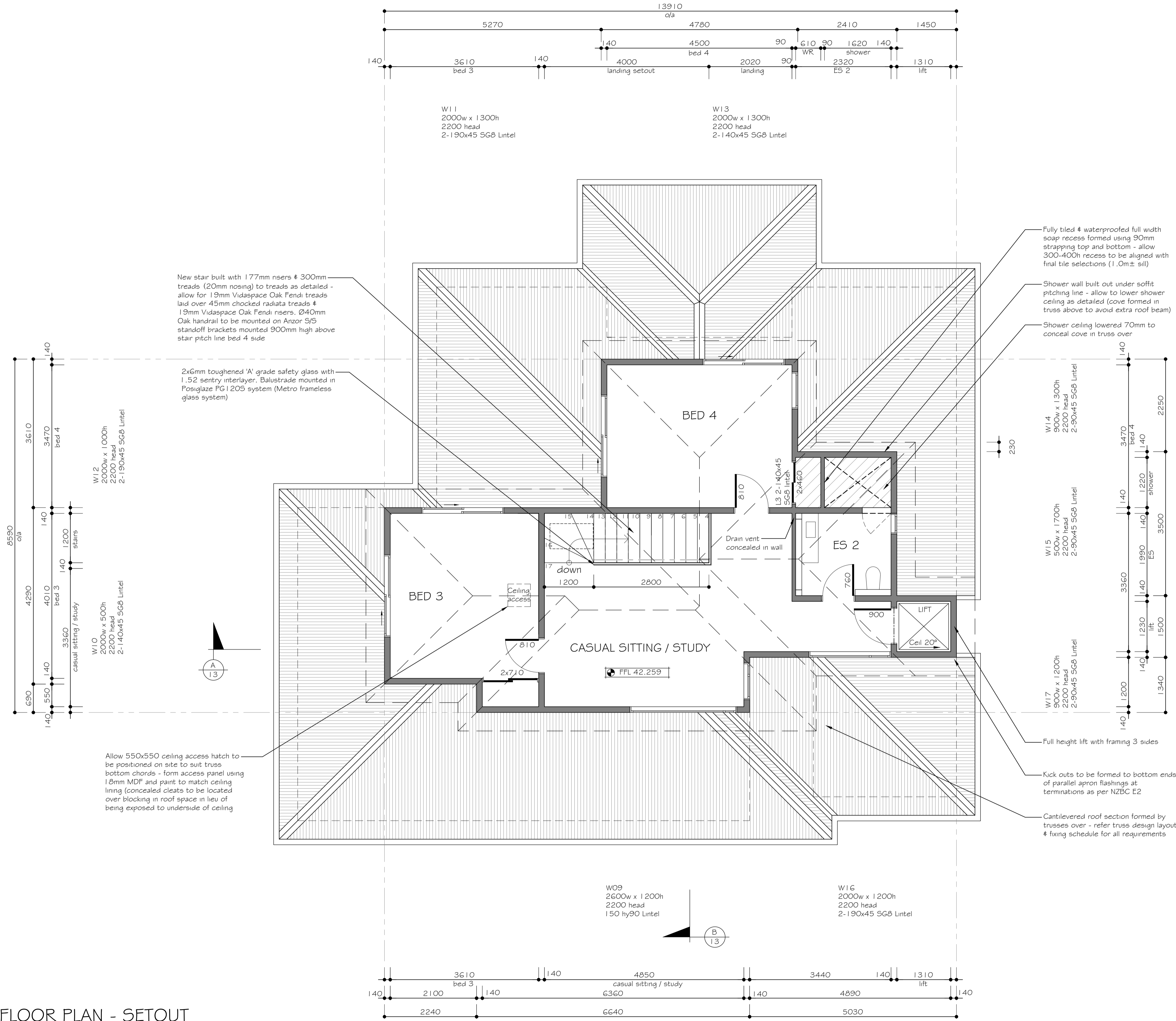
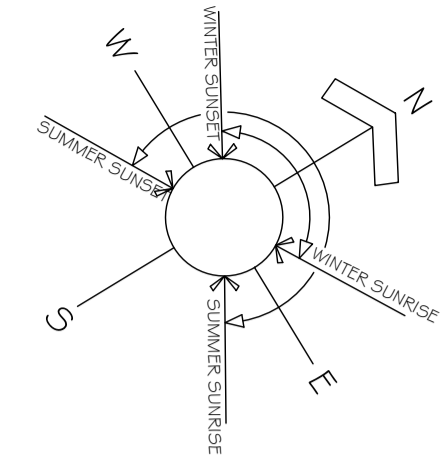
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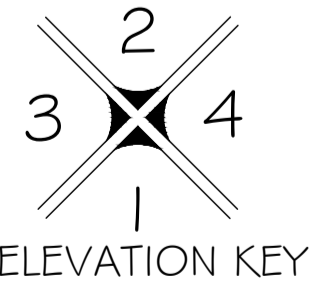
**NOTE:**  
 Inlet levels at existing development system to be confirmed on site prior to installation of interceptor tank and pipe runs



<b>VERTICAL LIMIT</b> ARCHITECTURAL DESIGN LTD PHYSICAL ADDRESS: 302 EASTBOURNE ST WEST HASTINGS PHONE: 0664 6 870 4009 MOBILE: 021 236 3900 POSTAL ADDRESS: PETER PASK PO BOX 289 HASTINGS (4156) NEW ZEALAND petepask@verticalimit.co.nz	CLIENT: K403 LIMITED	PROJECT: PROPOSED RESIDENCE LOT 2 SITE ADDRESS: 24 DUART ROAD HAVELOCK NORTH	DRAWING: PROPOSED GROUND FLOOR PLAN - SETOUT	REVISION: DATE: REVISED BY: CHECKED:	SCALE: 1:50 @ A1 DRAWN BY: TDL	DATE: 03.09.2018 JOB No: 17VL523	SHEET Ref: 05 CHECKED: PP	A D N Z ARCHITECTURAL DESIGNERS NZ INC PROFESSIONAL MEMBER CAD Ref:
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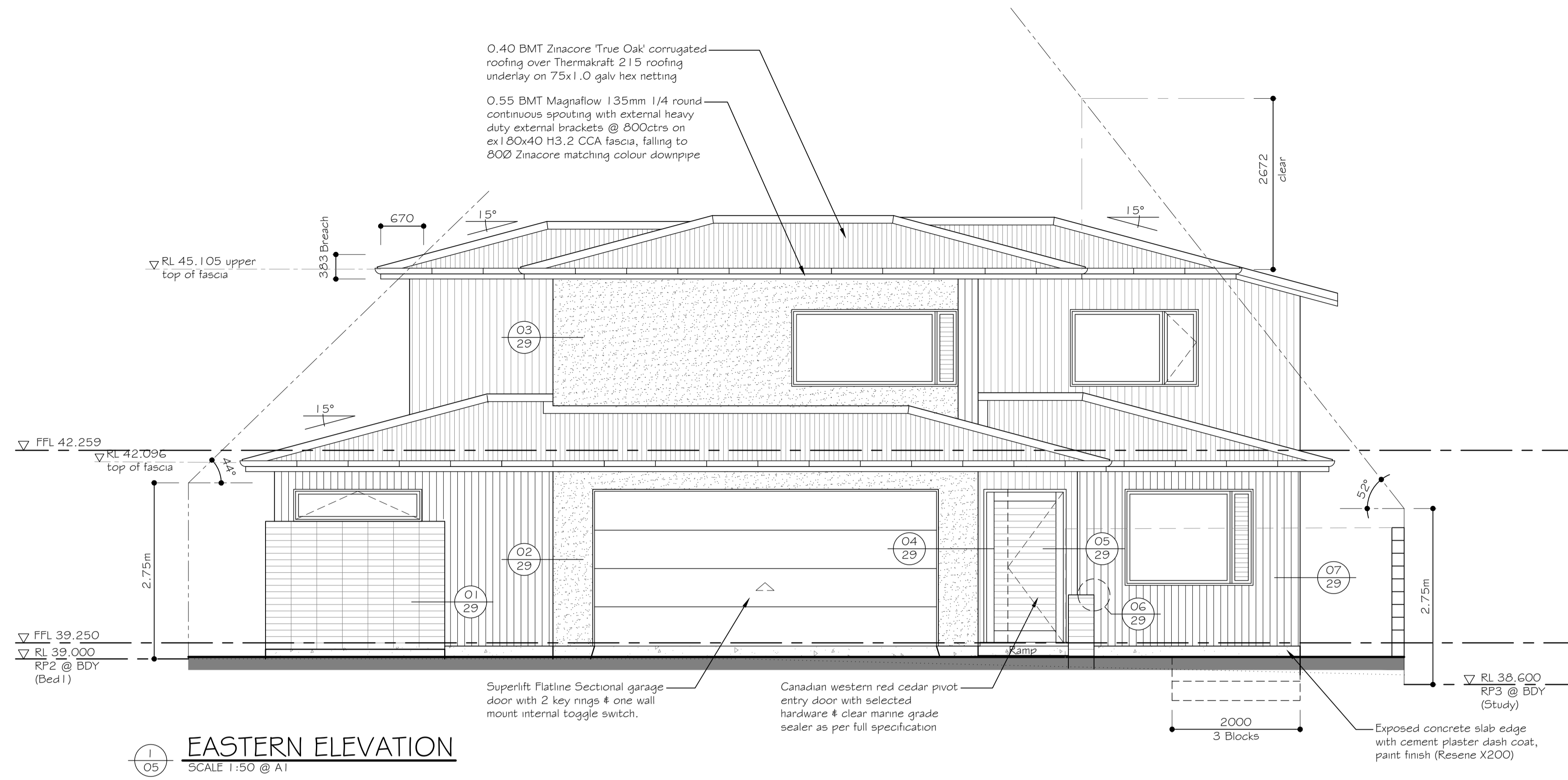


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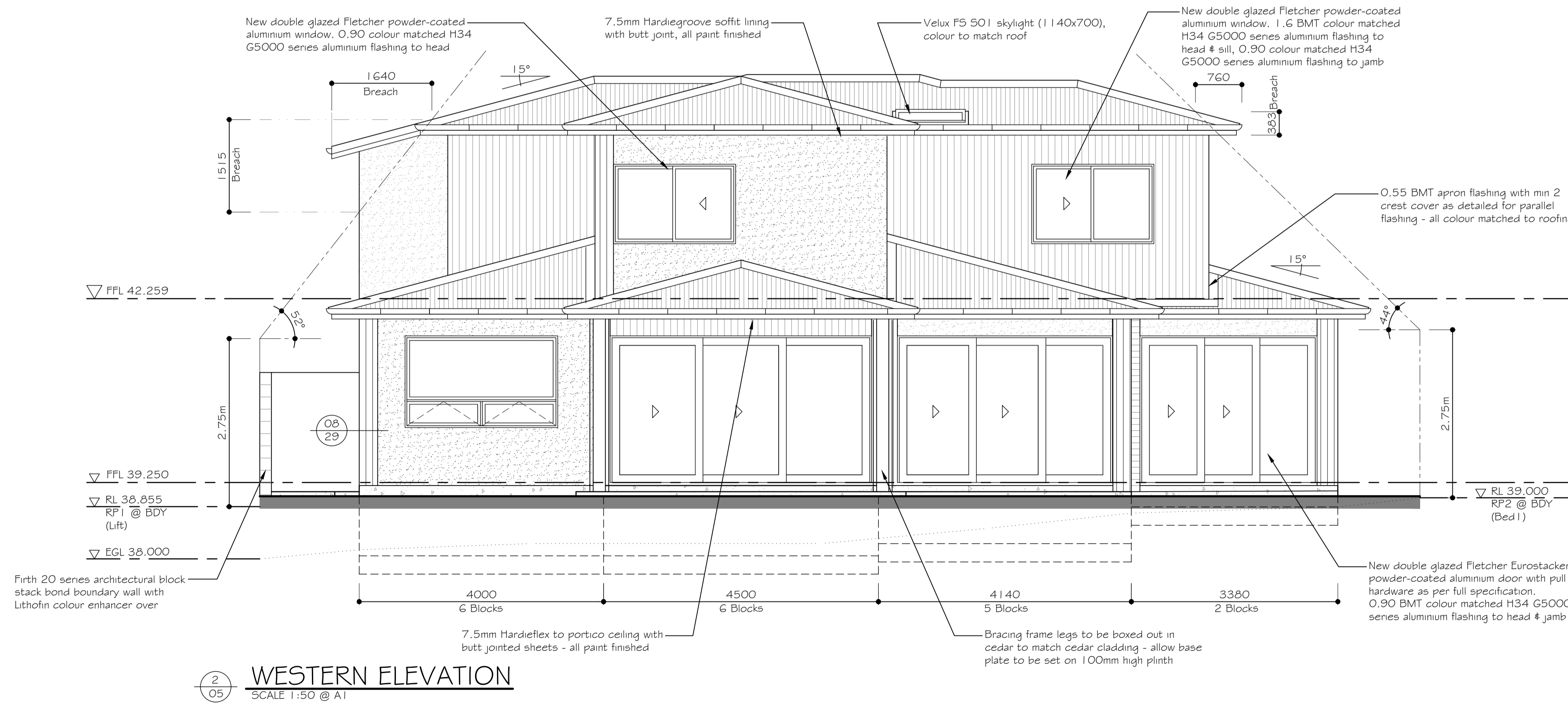


PROPOSED FIRST FLOOR PLAN - SETOUT  
 SCALE 1:50 @ A1

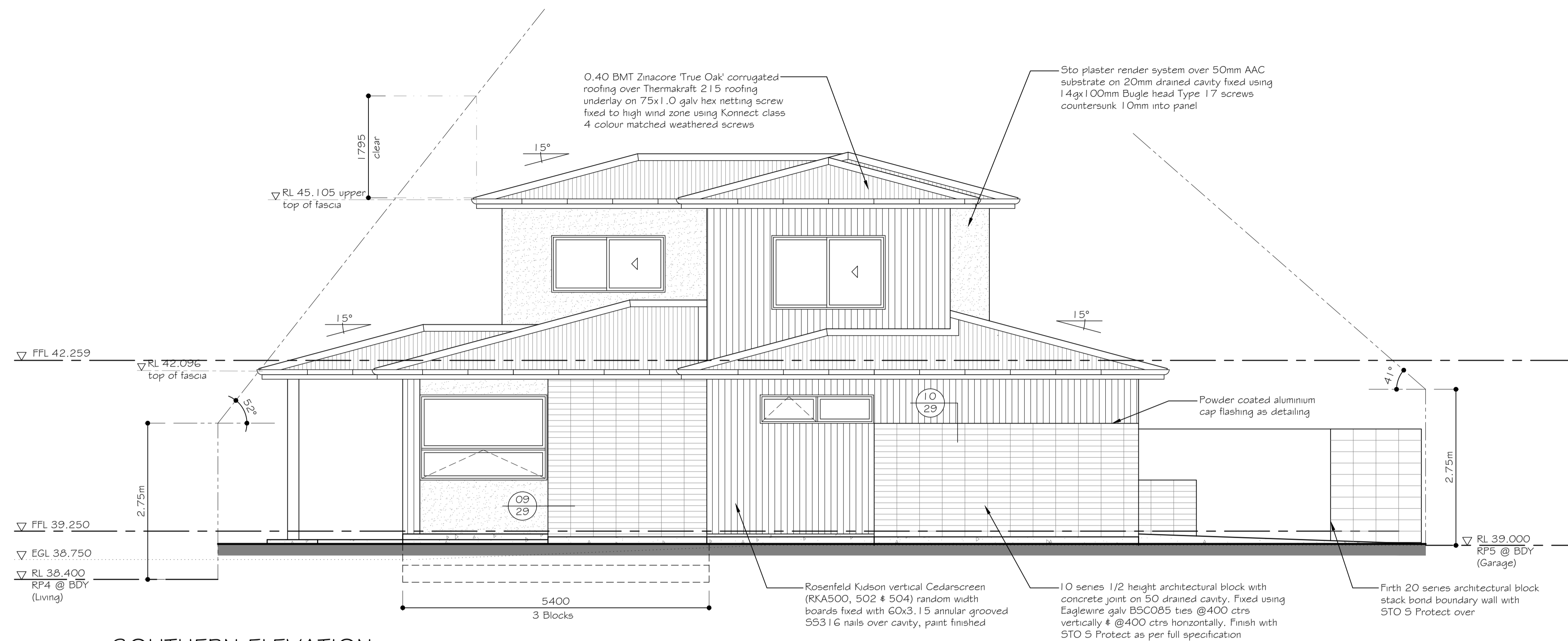
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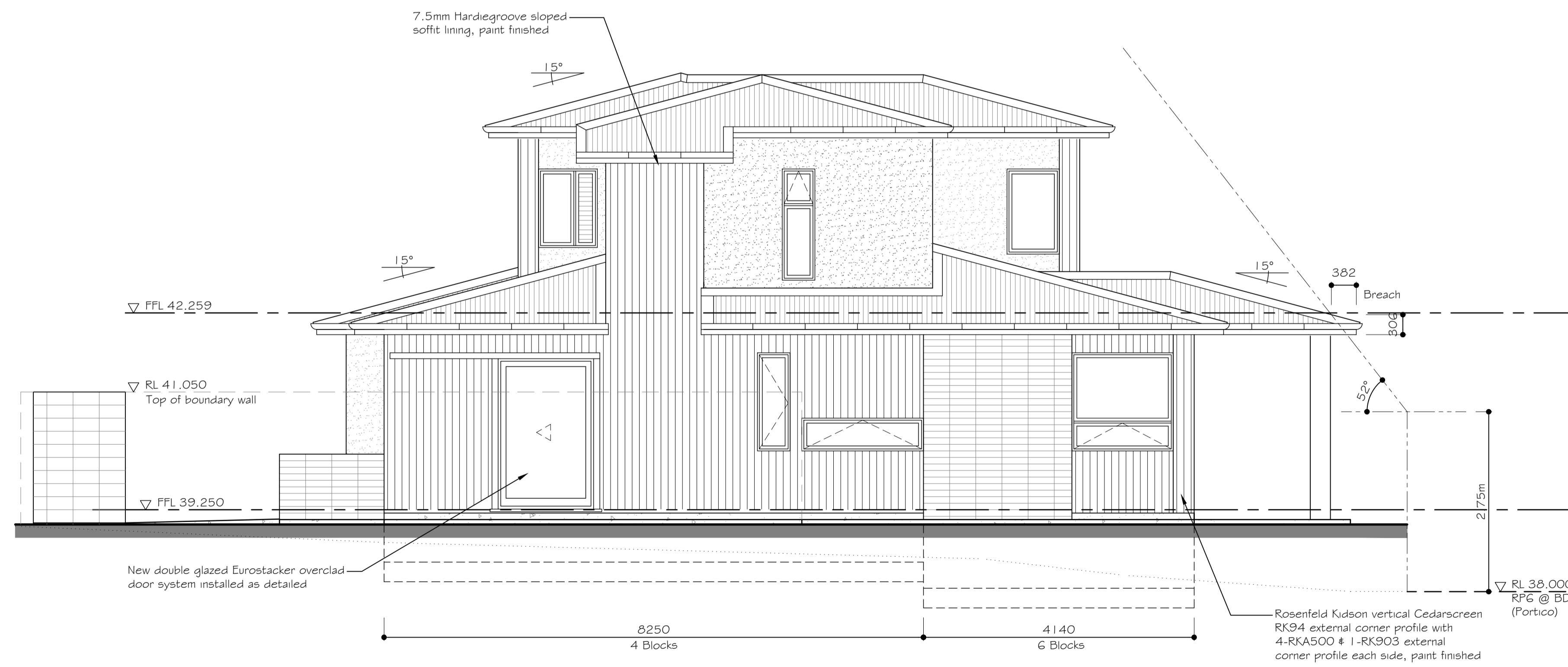
**EASTERN ELEVATION**  
SCALE 1:50 @ A1



**WESTERN ELEVATION**  
SCALE 1:50 @ A1



3  
05 **SOUTHERN ELEVATION**  
SCALE 1:50 @ A1



4  
05 **NORTHERN ELEVATION**  
SCALE 1:50 @ A1

**VERTICAL LIMIT**

ARCHITECTURAL DESIGN LTD

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CLIENT:  
K403 LIMITED

PROJECT:  
PROPOSED RESIDENCE LOT 2  
SITE ADDRESS:  
24 DUART ROAD  
HAVELOCK NORTH

DRAWING:  
PROPOSED ELEVATIONS

REVISION: DATE: REVISED BY: CHECKED:

SCALE:  
1:50 @ A1

DATE:  
03.09.2018

SHEET Ref:  
12

DRAWN BY:  
TDL

JOB No:  
17VL523

CHECKED:  
PP

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